



amy green design

Working With Your Architect

By Amy Green, AIA, Owner, Architect, Interior Designer & LEED AP of amy green design
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in   

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01 The Seven Phases of Architectural Design

Design and construction is a process, which is why most Architects break their services into phases for their clients.

Each phase of the project helps establish certain goals, milestones, and expectations for the project. As more of the project progresses and more of the project team comes together on the project, the level of detail the Architect is putting into your project increases along with the amount of drawings and documentation created for the project.

Most phases are performed sequentially, though some can be done concurrently, and often your Architect will ask you to approve their work on one phase before their work progresses to the next phase. Be sure to review your Architect's proposal in order to understand the phases, timeline, and when they will provide you certain drawings and services.

There are seven phases an architect typically works with their clients on. These phases have been developed over the centuries of Architects working with their clients in order to help best service their client's project goals, timeline, schedule, and budget, and are the phases recommended by the American Institute of Architects (AIA).

The seven typical phases of an Architect's Services are:

- Programming & Pre-design
- Existing Conditions Documentation
- Schematic Design
- Design Development
- Bidding & Negotiations with Contractors
- Construction Documents
- Construction Administration

There are additional phases and specialty services an Architect might also include in their work such as:

- Feasibility or Zoning Study
- 3D Renderings
- Permitting, Expediting or Assistance with your Local Building Jurisdictions
- Co-op or Landlord Approval and more!



02 Why an Architect Works in Phases

Not everything on a project can happen all at once, nor is there enough time in a day to make all the decisions that will affect your project from start to finish in one day --- which is one of the key reasons why Architects work in phases.

As more information, materials, tests, consultants, and decisions are added to the project; that translates into drawings and details that are added and layered into their work as the project progresses.

For example, in the Schematic Design phase an Architect may provide you with a simple line drawing of their proposed front elevation for your new building design showing the shape, size, and scale of the building elevation, such as showing its three stories tall, with ten feet floor to floor in height, and doors and windows are shown on the elevation.

In the Design Development phase the Architect will then identify and show the building materials such as where brick, stucco, concrete or other materials they selected are located on the facade. They may start to add exterior lighting and other articulation to the facade in their elevation drawing. They may present you with window samples for the facade such as that all windows would be double hung composite windows manufactured by Pella, with a thermal break and other features that help the window meet local energy codes, and identify that all the windows would be three feet wide by six feet high with their sill placed two feet off the floor.

In the Construction Documents Phase the Architect will further develop their elevation to accommodate consultant's work such as how far down the structural engineer proposes to drop beams over the windows and if the Architect sees an issue with what the engineer is proposing the Architect will work with the engineer on a solution. The Architect may also develop details showing how the window fits into the overall building design, how far back the window is set from the exterior, etc.

An Architect is not merely a provider of blue prints --- they are a service provider. They provide you with much more than drawings throughout your services with them; they are lending you their skills, knowledge, consultation, advise, and expertise over decades of experience in the industry.

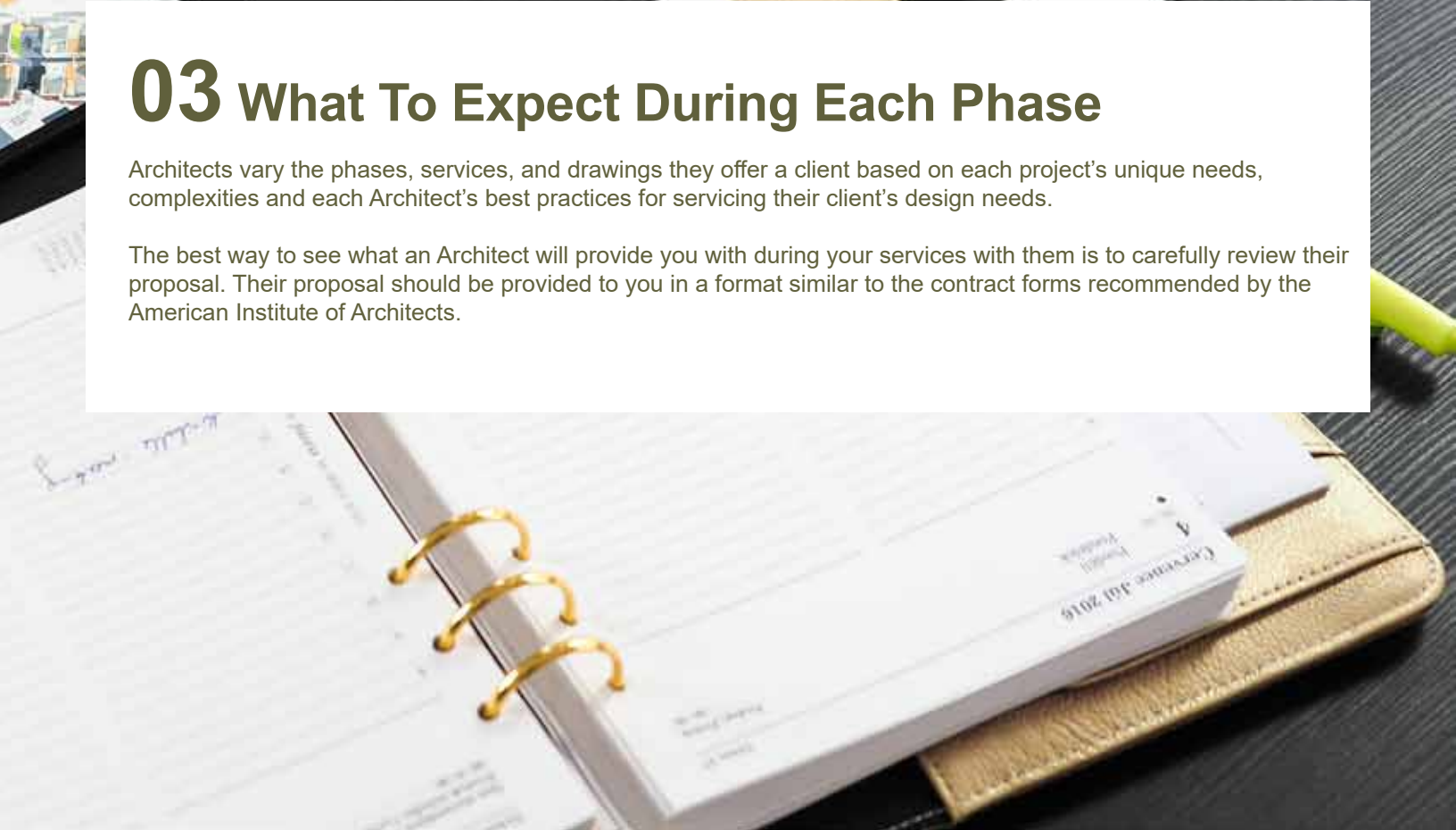
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03 What To Expect During Each Phase

Architects vary the phases, services, and drawings they offer a client based on each project's unique needs, complexities and each Architect's best practices for servicing their client's design needs.

The best way to see what an Architect will provide you with during your services with them is to carefully review their proposal. Their proposal should be provided to you in a format similar to the contract forms recommended by the American Institute of Architects.



Sample Progress of Drawings Through Phases

Below are examples of Schematic Design plans which include proposed demolition plans, new design plan, finish floor plan, ceiling/lighting plan, and power plans. They are very clear and simple drawings with few dimensions and notations as their goal is to lock in the concept and scope for the project.

Sample Schematic Design Plans



schematic proposed
demolition plan

schematic proposed
new design plan

schematic proposed
finish floor plan

schematic proposed
ceiling/lighting plan

schematic proposed
power plan

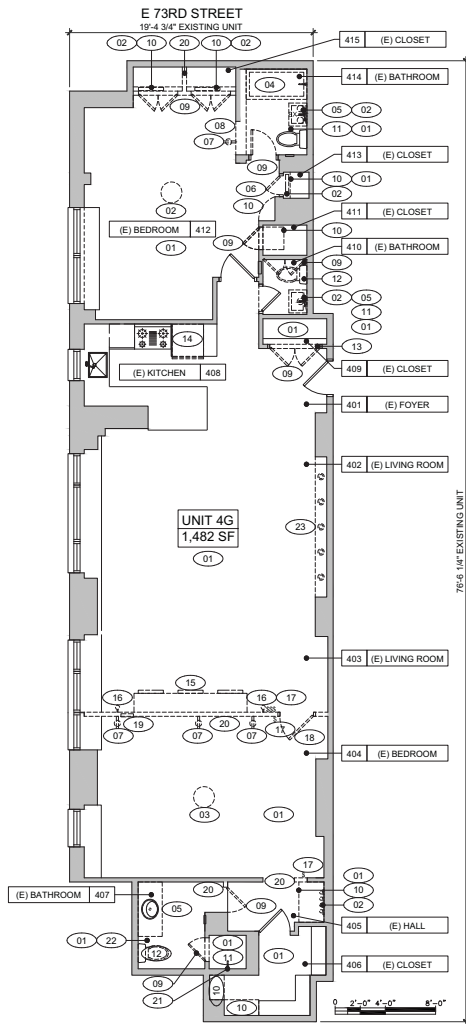
The goal of Schematic Design is to lock in the key concepts and scope for the project i.e. what is being demoed, what is being kept, what will the new floor plan design look like, where will finishes be replaced, where will there be new lighting and ceilings versus reusing the existing, what the new power requirements and their locations are --- and representing that in simple floor plan drawings such as those shown above.

Locking in Schematic Design is one of the most critical steps in a project; and is often a phase where clients decide to add a week or two to their project further reviewing the design as making changes in Schematic Design is a quick and simple process only affecting a few drawings --- but once the project progresses into later phases; making changes to the design could mean also changing consultant and engineering drawings as well as additional service fees from your Architect for changes across many blueprints and revisions to your permits and filings with the Building Department, your Co-op Board, or Landlord.

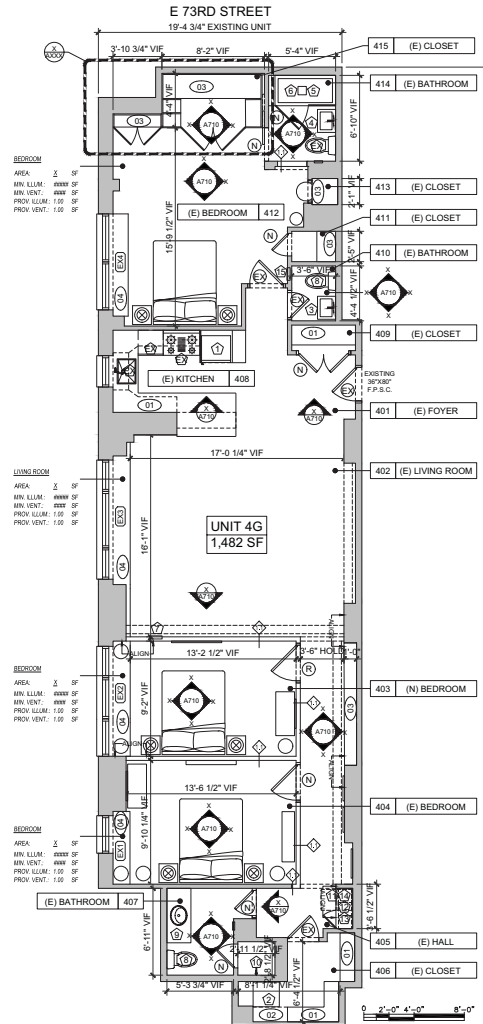
Sample Progress of Drawings Through Phases

Below are examples of Design Development Drawings and how they progress from the Schematic Design Plans shown on the previous page --- to further developed, annotated, and detailed plans such as those shown below.

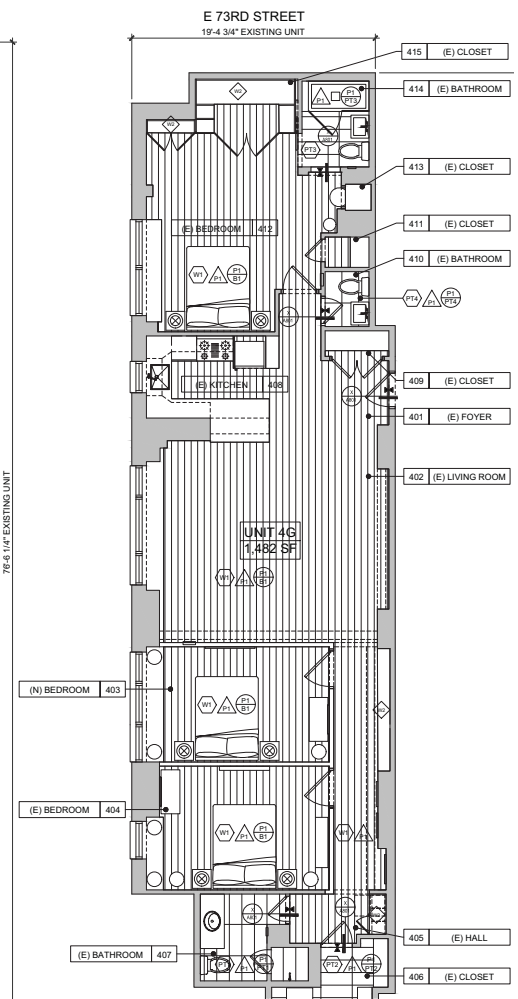
Sample Design Development Plans



design development
demolition plan



design development
proposed plan



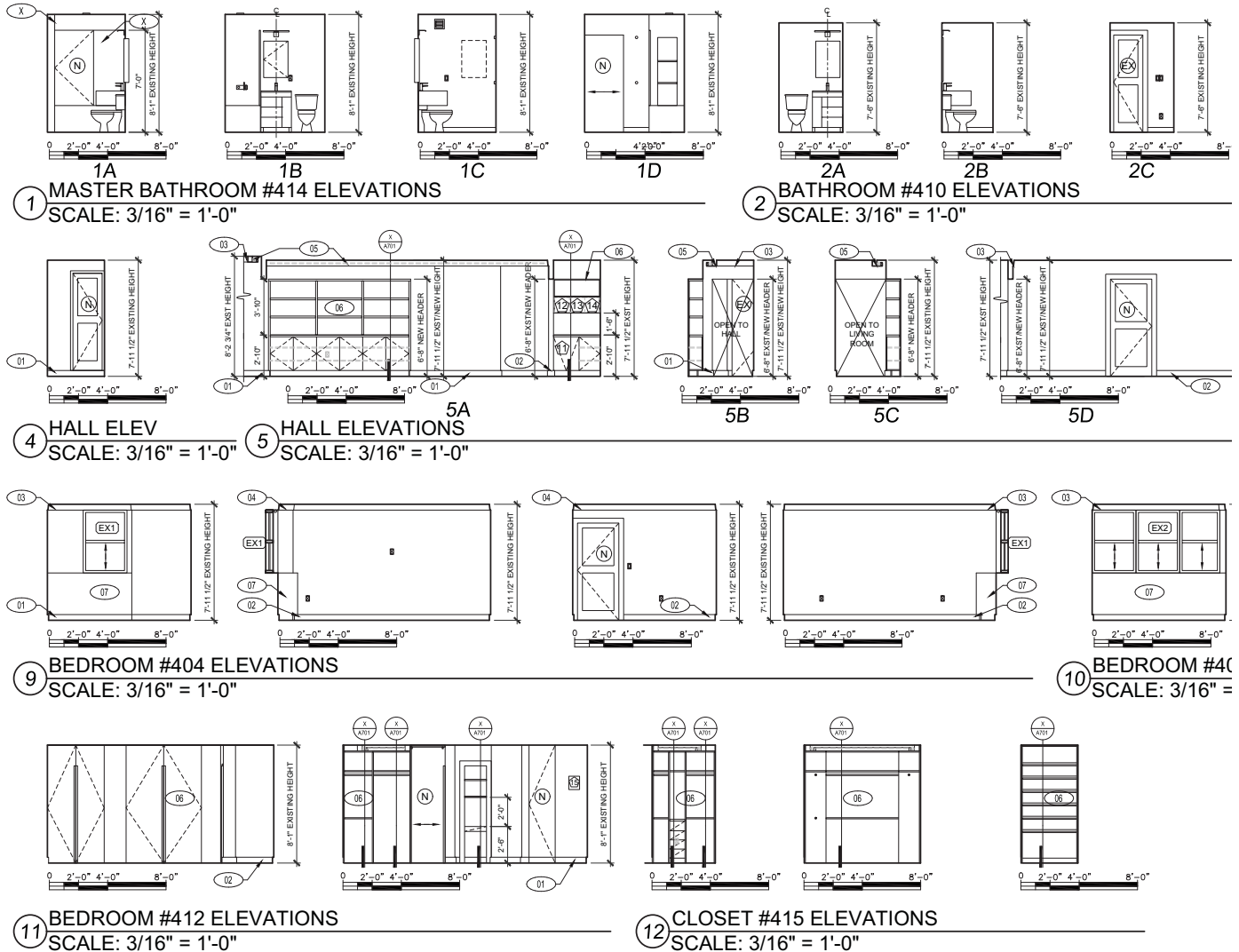
design development
finish plan

The goal of Design Development, as the name implies, is to further the development of the design. This means that as finishes, fixtures, and materials for the project are selected; they get integrated into the drawings along with additional detail and additional drawings such as key interior elevations, notations indicating where one room might be painted blue but another room gray, annotations indicating how the work should be performed to achieve the desired design, and more!

Sample Progress of Drawings Through Phases

Below are examples of Design Development Elevations. They are simple and will continue to be developed and further detailed during the construction documents phase.

Design Development Elevations



Key interior elevations such as those above will be created during design development to help clients and the contractor see how the design comes together in the space

Sample Progress of Drawings Through Phases

If you elected for the Architect to help you make design selections such as paints, lighting, tile, flooring, sinks, faucets, tubs, kitchen cabinetry, bathroom vanities, bathroom accessories, window treatments, furniture and more then this is the phase during which the Architect will present you with those selections for your approval so the design selections you approve can then be integrated into the Construction Documents in the next phase.

Design Development Selections

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Master

REFRESHING REJUVENATION



DOWNPOUR BLUE



WHITE



HARBOR GRAY

Color Palette

BLUSH + GOLD WITH WARM GRAY



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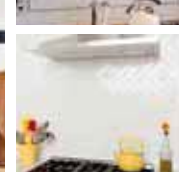
Kitchen

CLASSY COMFORT



Color Palette

ACCENTS OF GOLD + TOUCHES OF WOOD



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Kid's Bathroom Inspiration Images



Kid's Shower Walls – Large format Kala White by Porcelanosa



Kid's Bathroom Wet Walls – Large format Kala White by Porcelanosa – sample install photo

Kid's Bathroom Countertop & Vanity – Kala by Porcelanosa folds to make the backsplash and counter top and will match the shower walls – custom built by GC

Kid's Bathroom Floors – Large format gray by Porcelanosa

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2 P a o o

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Master Bathroom Fixture Options



White/wood/black bathroom, black accents, vessel sink, wood vanity, rounded mirror



Toilet opt1 – Toto Aqua dual flush toilet \$636



Toilet opt2 – Toto Levato turbo flush toilet, washlet compatible which is an add on to function like bidet for additional cost \$1,176



Sink & Faucet & Drain – houzz porcelain sink with chrome fixtures \$171



large format tiles in light tones with black accents, vessel sink and solid counter top



Towel Warmer – houzz \$1,144



Tub – Kohler acrylic drop in tub 30" wide x 60" long x 19" high \$1,227



Shower fixtures – houzz chrome \$600

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2 P a o o

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Rainhead shower & handheld – houzz \$299 from Aqua



Body sprays – houzz \$136 each from Delta



Undermount sink – houzz \$137 from kohler



Wall mounted sink faucet – houzz \$460 from Delta



Corner shower shelf – houzz \$24 each in black glass

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5 P a o o

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living room mood board - option 18



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[illegible]

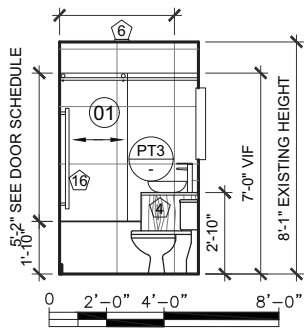
Comparing the floor plans on this page to the level of detail they were at in the Schematic Design example shows how far the plans advance during the process. Construction Documents drawings are also laid on full sized blue print sheets with many notations and annotations as seen here that tell information such as which toilet goes in which bathroom, what color(s) the paint is, how bright the lights are and more!

Sample Progress of Drawings Through Phases

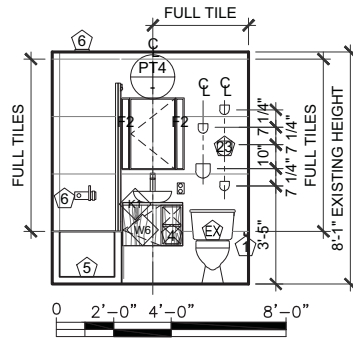
Below are examples of Construction Documents Elevations. If you compare them to the Design Development elevations you'll see these now show tile and other material patterns as well as locations of light switches and outlets, and more!

Construction Documents Elevations

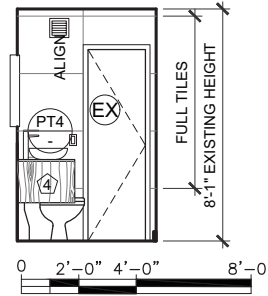
FULL TILES, ALIGN W/FLOOR TILE



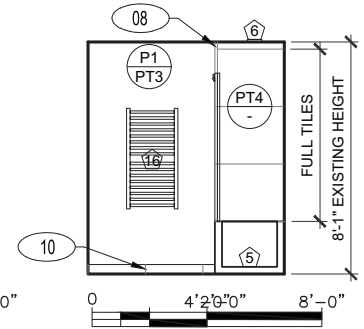
1A



1B

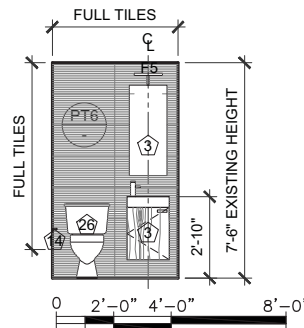


1C

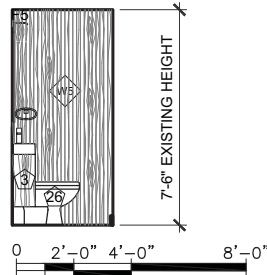


1D

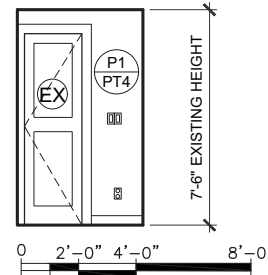
1 MASTER BATHROOM #414 ELEVATIONS
SCALE: 3/16" = 1'-0"



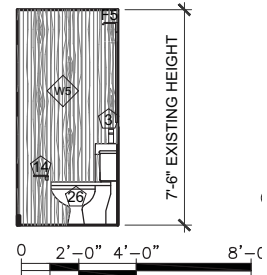
2A



2B

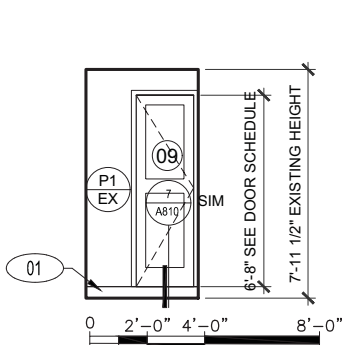


2C



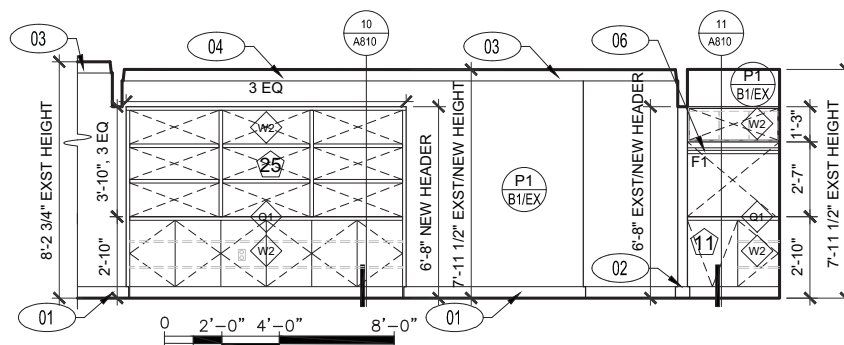
2D

2 POWDER ROOM #410 ELEVATIONS
SCALE: 3/16" = 1'-0"



4

HALL #405 ELEV
SCALE: 3/16" = 1'-0"



5A

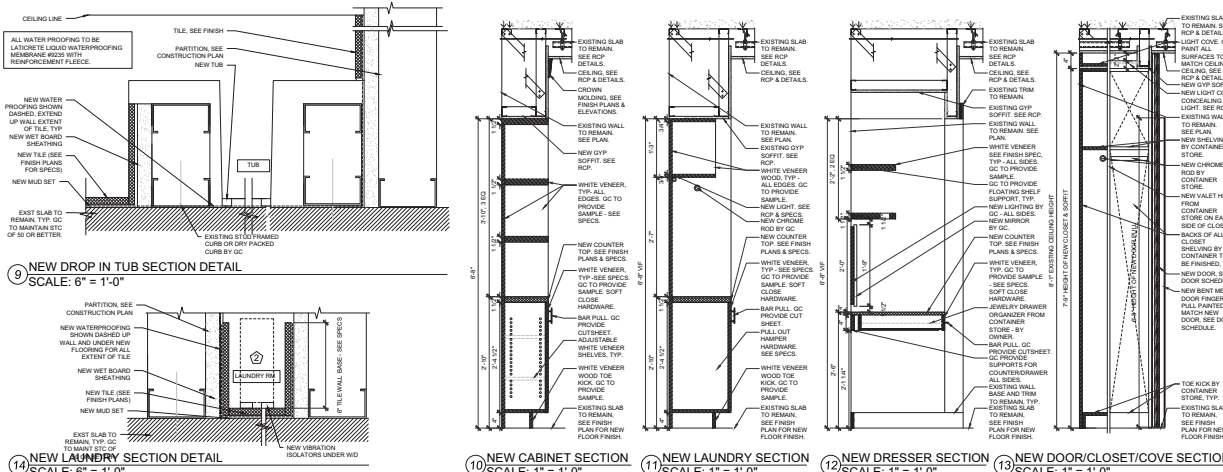
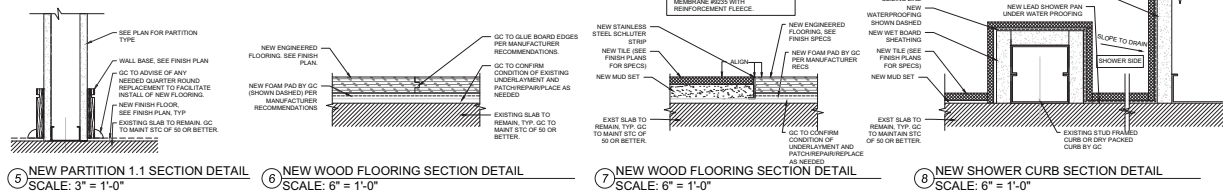
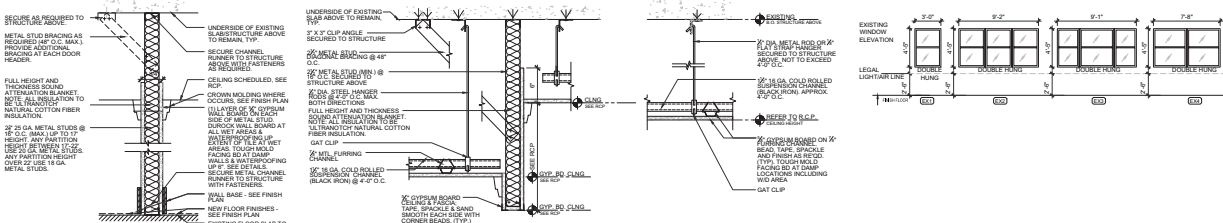
5

HALL #405 ELEVATIONS
SCALE: 3/16" = 1'-0"

Sample Progress of Drawings Through Phases

Construction Documents is when details such as those below will be added to the drawing set showing what the walls are built out of, how the ceilings are hung, how flooring should be installed, how cabinetry is built, how waterproofing is handled, and more!

Construction Documents Details



LIGHT/FAN SCHEDULE	
F1 COVE LIGHT	LOCATION: MASTER CLOSET & LAUNDRY MILLWORK
TYPE: LED	
W: 1/2"	
COLOR TEMP: 3000K	
MODEL: BLADE BACKS 10 LED TAPE	
FINISH: WHITE	
NOTES: INCLUDES GC ORDERING LIGHT COVERS/LENS	
F2 INTERIOR MEDICINE CABINET LIGHT	LOCATION: MASTER BATHROOM
TYPE: LED	
W: 1/2"	
COLOR TEMP: 3000K	
MODEL: ROBIN PROFILES INTERIOR LIGHT	
FINISH: NA	
NOTES: INCLUDES GC ORDERING LIGHT COVERS/LENS	
F3 MIRROR COVE LIGHTING	LOCATION: MASTER DRESSER VANITY
TYPE: LED	
W: 1/2"	
COLOR TEMP: 3000K	
MODEL: BLADE BACKS 10 LED TAPE	
FINISH: NA	
NOTES: INCLUDES GC ORDERING LIGHT COVERS/LENS	
F4 FAN WITH LIGHT	LOCATION: MASTER BEDROOM
TYPE: LED	
W: 15W	
COLOR TEMP: 3000K	
MODEL: MINNA AREA FORCE FAN W/ LIGHT KIT	
FINISH: WHITE	
F5 SCONCE IN VANITY SET	LOCATION: POWDER ROOM
TYPE: LED	
W: 15W	
COLOR TEMP: 3000K	
MODEL: LARCH CAMPANA BATHROOM VANITY SET	
FINISH: WHITE	
NOTES: SEE SE FROM LITHONIA LIGHTING	
F6 RECESSED DOWN LIGHT	LOCATION: POWDER ROOM & KIDS BATHROOM
TYPE: LED	
W: 10W	
COLOR TEMP: 3000K	
MODEL: SPAL	
NOTES: SEE SE FROM LITHONIA LIGHTING	
F7 SCONCE WALL LIGHT	LOCATION: LIVING ROOM
TYPE: LED	
W: 20W	
COLOR TEMP: 3000K	
FINISH: OPAL ACRYLIC LENS WITH BRUSHED ALUMINUM	
MODEL: 18" LONG	
F8 FAN WITH NATURAL LIGHT	LOCATION: KIDS BEDROOMS
TYPE: LED	
W: 15W	
COLOR TEMP: 3000K	
MODEL: MINNA AREA AREA LIGHT WAVE	
FINISH: WHITE	
F9 RECESSED DOWN LIGHT	LOCATION: HALL
TYPE: LED	
W: 10W	
COLOR TEMP: 3000K	
MODEL: GOTHAM 2" INCH DOWN LIGHT	
F10 VANITY SCONCE	LOCATION: KIDS BATHROOM
TYPE: LED	
W: 20W	
COLOR TEMP: 3000K	
FINISH: BLACK	
MODEL: NEW VOGUE BATH BAR BY LUMENS	
GC TO INSTALL VIBRATION ISOLATION PADS TO ALL CEILING FANS AND WHERE FAN COMES INTO CONTACT WITH CEILING.	
R404 NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICIENCY LAMPS. HIGH-EFFICIENCY LAMPS SHALL BE WITH A MINIMUM EFFICACY OF 80 LUMENS PER WATT FOR LAMPS OVER 40 WATTS AND 15 WATTS TO 40 WATTS. 2. 80 LUMENS PER WATT FOR LAMPS OVER 40 WATTS AND 15 WATTS TO 40 WATTS. 3. 15 WATTS TO 40 WATTS.	
GC TO PROVIDE ALL CONNECTORS, DRIVERS, DIMMERS, SWITCHES, TRANSFORMERS, AND OTHER ITEMS NEEDED FOR LIGHT TO FUNCTION. GC TO PROVIDE CUTOBBERS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING.	
GC TO VERIFY CLEARANCE FOR INSTALL OF FIXTURES AND CONTACT ARCHITECT FOR ANY INTERFERENCE PRIOR TO ORDERING FIXTURES.	

Details such as these are typically needed to demonstrate to the building department how a wall will be built to meet code requirements, or show a Co-op Board how water proofing will be handled to protect spaces below, or ensure the millworker fabricates items for instal with accurate drawings.



04 What to Expect During the Programming Phase

Some Architects omit the Programming Phase, however it is an important part of the design process, as Programming is when you meet with your Architect to finalize the needs, goals, and desires for your project. It's when the ultimate vision for your building project is determined by you and your Architect and the Phase during which your Architect provides with you with solutions for how they will accomplish that vision for you on your building project.

You'll discuss everything from timeline to function and aesthetics to equipment needed in the spaces. This Phase is often also referred to as "pre-design" as your Architect often won't provide design drawings at this time. This Phase isn't about drawings as much as it is about communication, discussion, priorities, budget, goals, timeline, phasing, aesthetics, relationships, planning, and developing a shared concept with you for your building project.

Typically during this phase, exactly what new rooms and spaces will be in the project are determined along with how large each of those spaces will be, what their connection is to one another, how they will circulate and flow around one another, and what each space needs to support such as how many people will be in each space, what furniture or equipment is needed in each space, when and how each space will be used, etc.

Your time during this Phase with your Architect is to discuss problems and develop solutions that will meet the ultimate needs of those who will eventually live, work, and play in your new space.

Even though an Architect may provide you with a free consultation and speak with you about your project goals during that time, those conversations only begin to scratch the surface of the further evaluation, conversations, goal setting, priorities, documentation, and spacial planning that should take place during the overall Programming Phase.

Specialty services such as Feasibility Studies might be recommended by your Architect during this time as well, in order to help you understand what is feasible for your project and just how much that project could cost you in terms of the total hard and soft costs of not just the Architect's fees, but also the contractor's contract for construction, structural or electrical engineering, asbestos testing, surveys, permitting fees, etc.

Wondering what the possibilities are for your project and what it would cost? Download our guide "*Why a Feasibility Study is Your First Step to a Successful Building Project*" at amygreendesign.com/resources



05 What to Expect During Existing Conditions

Even if you have drawings of your space, in most cases the Architect still needs to take measurements, photos, and create their own drawings in order to document the existing space and create CAD files for them to then create the renovation drawings from.

It's important the drawings be verified and exact by the Architect, as they will be working your remodel from the existing conditions documentation of your space.

06 What to Expect During Schematic Design

Schematic Design is typically one of the first phases of an Architect's services. The drawings during this phase are usually simple drawings that show the size, shape, scale and relationship of the Architect's proposed design. Often only a couple drawings are completed such as a typical floor plan, simple front elevation, and preliminary demolition plans.

The goal of the schematic design is for the client to approve the floor plan to the Architect, so both the client and Architect agree on the design plan, then the Architect can start further developing the design in their next phase of services with an agreed upon plan in a clear direction and understanding.

07 What to Expect During Design Development

Design Development, like the name implies, further develops the design from the drawings presented in the Schematic Design phase. More detail will be added to the drawings presented in the Schematic Design phase and more drawings will be created in the Design Development phase --- often including reflected ceiling plans, site plans, furniture plans, finish plans, sections, and elevations for the building.

During this phase the Architect will likely show you samples for the finishes, fixtures, and materials for your review such as counter options, flooring, lighting, paint colors, etc.

This phase is also the ideal time to begin contracting the consultant team that will be needed for the project such as engineers and asbestos testers so they can begin their work as soon as the Architect is ready to kick off the construction documents phase of services which is when the Architect and all consultants will complete their blueprints for permitting, bidding, and construction.

If you're wondering how long each phase of design services may take and how to help reduce that timeline, check out our guide "[How Long Will My Building Project Take](https://amygreendesign.com/resources/how-long-will-my-building-project-take)" which you can download at amygreendesign.com/resources



08 What to Expect During Construction Documents

Construction Documents are typically the most detailed drawings created by your Architect and this phase is often the most time intensive portion of their services. These drawings need to be sufficient for a contractor to accurately bid on, build from, and provide to local jurisdictions with all the information needed in order for the building department to approve the job and issue permits.

Details, door and window schedules and code pages are typically added during this phase and drawings previously presented to the client are further detailed until they are clear enough to be constructed from by the contractor selected to build the project.

09 What to Expect During Bidding & Negotiations

There is a lot more your Architect can do for you during the bidding process with contractors beyond simply handing the contractor a set of drawings and asking for a price. Architects see bids day in and day out, so they can bring a great amount of knowledge and experience to the process and can also help you negotiate prices with the contractor, organize site walkthroughs with contractors, recommend contractors, answer contractor's questions about the project, and help advise you on which contractor to contract with based on the responsiveness of the bids received and the contractor's experience and qualifications.

10 What to Expect During Construction Administration

Your Architect can be involved as little or as much as you like during Construction Administration. Some clients want their Architect to come out on site every week to observe construction, while other clients feel they only need the Architect on site a few times during the entire construction process.

Some clients want the Architect to review weekly photos of the construction site from the contractor and advise the Owner of progress. Some clients want the Architect to review and approve all the contractor's requests for payment to the Owner and all the contractor's shop drawings, samples, and submittals before the items are ordered and purchased by the contractor in order to ensure they are accurate and correct.

Typically an Architect must maintain a limited amount of Construction Administration in order to sign off the job with local jurisdictions, ensure the work was completed by the contractor according to code, and to show their liability insurance provider that the work was completed by the contractor according to the Architect's drawings.

Whether you want to handle bidding and negotiations on your own, or want your Architect to assist in the process, check out our guide "*How to Bid Contractors Like a Pro*" at amygreendesign.com/resources

11 Additional Services You May Want From Your Architect

Your project may benefit from additional services from your Architect such as Feasibility Studies, On-site Consultations, Zoning Studies, 3d Renderings, assistance through Landmarks or Co-op Board or Landlord Approval.

Schematic Design Renderings

These simple level of renderings, like those shown below, are great for expansions or new buildings; helping clearly demonstrate to clients and helping them visualize what will be demoed (shown in red), area of new expansion (shown in green) as well as what the building will look like - inside and out after the renovation.



Design Development Renderings

These level of renderings, like those shown below, are great for exploring more intricate or high design or high cost areas of a design such as a kitchen, bath, or living room.





12 Summary

An Architect can provide you with just one service or one drawing, such as selecting interior design finishes for your project or providing you with a spacial floor plan --- but you'll get the most out of your relationship with your Architect when you contract them for the full scope of all seven possible phases of their services.

You can read more about working with your Architect at amygreendesign.com or aia.org

Contact amy green design today to discuss how we can provide you with a free consultation and proposal for our services catered to you and your project's unique needs.

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