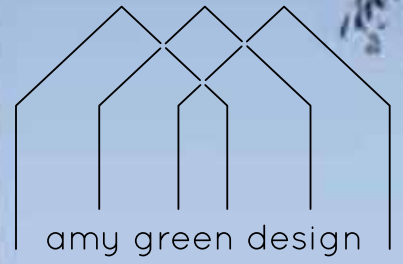


# FEASIBILITY STUDIES



# Steps Towards a Successful Feasibility Study

**Step 1:**  
Existing  
Conditions  
Documentation

**Step 2:**  
Programming &  
Kick Off Meeting

**Step 3:**  
Feasibility  
Drawings for  
Renovation, Demo  
& New Building

**Step 4:**  
Bids from  
Contractors &  
Proposals from  
Consultants

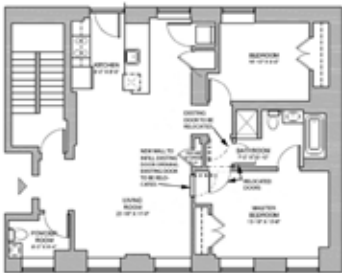
**Step 5:**  
Evaluation of  
Study

## Step 1: Existing Conditions Documentation

Unless your site is completely vacant, or you're looking at demoing all existing buildings and building new, then typically the first required step in a feasibility study is to document and evaluate the existing conditions of the site.

The more of the existing site and space you're looking to renovate or reuse in the renovation; then the more time and level of services is required from any green design in order to help you most effectively evaluate how the proposed work will affect the existing conditions and what can be reused in the renovation versus what needs to be relocated, removed, replaced with new, or brought up to code during the renovations.

## Sample Existing Conditions Documentation Service Tiers



### **Tier 1** **Basic Services**

This level of services might rely on an existing survey, broker plan, rough drawings or sketches the Owner can supply to the Architect.

These level of services will be less accurate as the Architect won't personally document the conditions to confirm the measurements and dimensions are accurate, but instead will rely on the accuracy of what is provided to AGD.



### **Tier 2** **Signature Services**

These services include exteriors that need to be documented in addition to the interior and more extensive documentation of the interior such as documenting existing power, lighting, ceilings, piping, and other interior elements beyond documentation of just doors, walls, and windows --- all of which are personally documented by AGD.



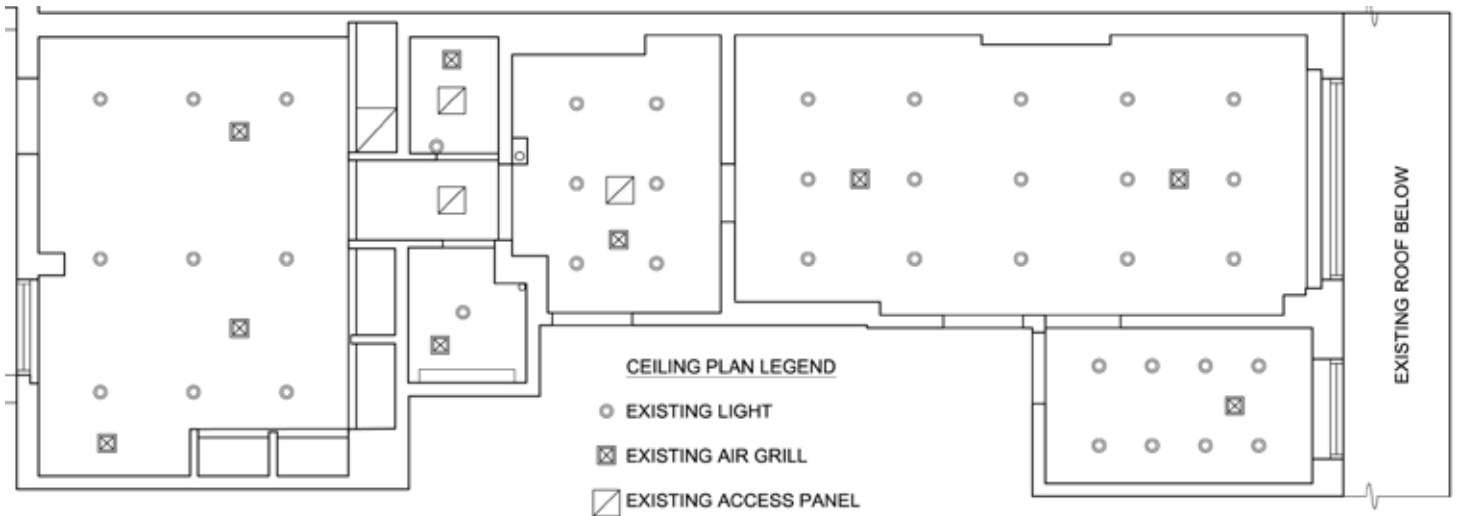
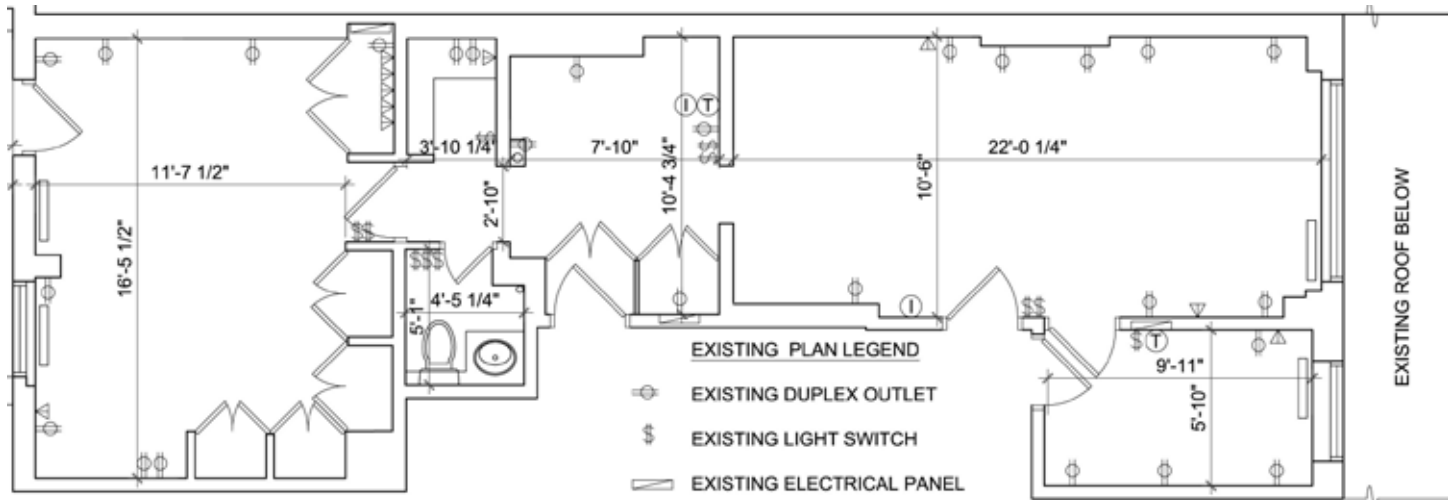
### **Tier 3** **Premium Services**

This can include 3d renderings of the existing conditions and 3d diagrams showing what will be demoed in the renovation versus what is existing to remain. We also offer other premium services to help the client fully visualize how the feasibility study impacts the existing site and buildings including 3d walkthroughs and more.

# Examples of amy green design's Services

## Existing Conditions

Below shows an example of how amy green design documented and created existing power, telephone, thermostat, intecom, lighting, HVAC, plumbing, and other plan documentation in addition to just the existing doors, windows, and walls of an existing space in order to evaluate for the client which of existing items could be reused in the renovation.



existing plans such as those shown here are indicative of Tier 2 Signature Level of Existing Conditions Documentation Services from amy green design



## Step 2: Programming & Kick Off Meeting

Architectural Programming is the study of the needs of the people, spaces, furniture, equipment, and functions of a building project.

It includes considerations such as how many people a restaurant wants to seat, how many units a co-op building wants to accommodate, how many bathrooms a retail store wants for customers, how many conference rooms an office space wants, what people occupy each space, what equipment and furniture is in each space, and more!

In the lower tier level of services, clients provide any green design with a list of their desired program and AGD then helps them implement it; whereas in higher levels of services, AGD can help the client create that Program utilizing AGD's expertise in space planning, functional layouts, code required room sizes, and building equipment needs to help clients consider the full extent of the Program needed for their Feasibility Study.

## Sample Programming Service Tiers

### Tier 1

#### Basic Services

In this level of services clients provide AGD with their desired Program and AGD then implements that client's program into the feasibility study.

### Tier 2

#### Signature Services

In this level of services clients further benefit from AGD's knowledge in building codes, equipment needs, furniture and accessibility clearances as AGD works with clients to develop their Program with AGD at their side.

### Tier 3

#### Premium Services

This includes diagrams showing just how much space is allocated to certain uses such as corridors versus office spaces and calculating how many occupants can be serviced in a special use such as daycare based on how many children of each age are allowed by code in the classrooms of the daycare.



## Step 3: Feasibility Drawings

The level of Feasibility Drawings a client desires has the greatest impact on the cost and timeline of a Feasibility Study with any green design.

Feasibility studies in Tier 1 Services are diagrammatic and focus on quick calculations and simple diagrams showing what would be allowed to be built on a site by current code, zoning, and other local regulations.

Feasibility studies in Tier 2 Services are performed at a Conceptual Design level of services rather than just diagrammatically, and as such further show how stairs, elevators, circulation, parking, restrooms, units, support spaces, and more will be laid out across the building and site in order to achieve the client's desired Program in actual floor plan layouts and designs.

At the end of Tier 3 Feasibility Study drawings a client's project is typically roughly 25% complete, which allows clients to quickly progress forward with their project at the end of a Tier 2 Feasibility Study with fully developed Schematic Design Drawings in hand from their Feasibility Study.

## Sample Feasibility Drawing Service Tiers

### Tier 1 Basic Services

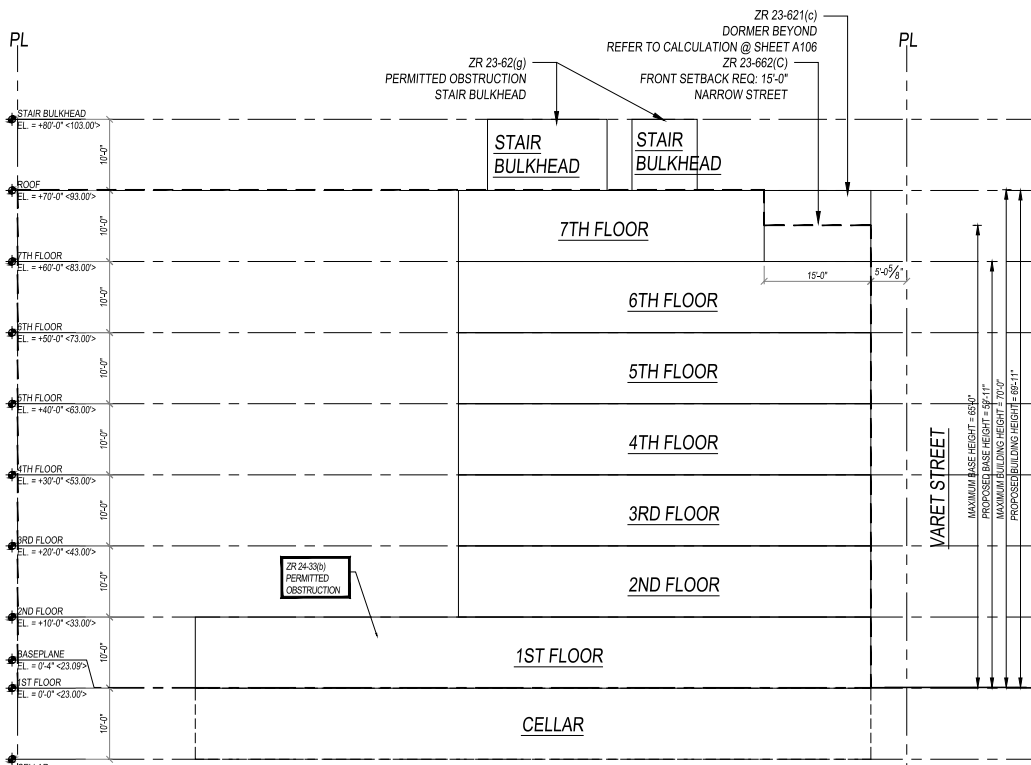
A feasibility study at this level is typically focused on representing allowable building heights, lot coverage, setbacks, Floor Area Ratio, parking requirements, and allowable building footprint in simple calculations and diagrams.

### Tier 2 Signature Services

In this level of services clients benefit from not just the Basic Level of Services they will also receive, but also Schematic Design level drawings and floor plans that will show the client how the site and building could be laid out.

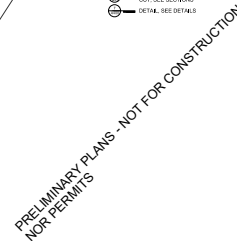
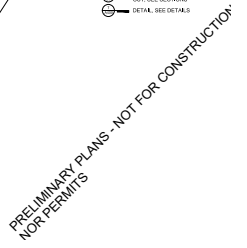
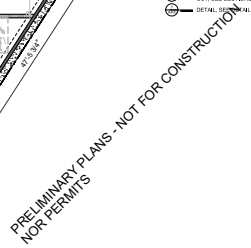
### Tier 3 Premium Services

This can include 3d renderings to more visually present the Feasibility Study findings.



this diagrammatic building section is indicative of Tier 1 Feasibility Drawing Services from any green design showing the total allowed building height, floor to floor heights, floors, setbacks, building footprint, and lot coverage allowed - represented diagrammatically in section - as part of the Feasibility Study Drawings

## Feasibility Study Drawings at Tier 2



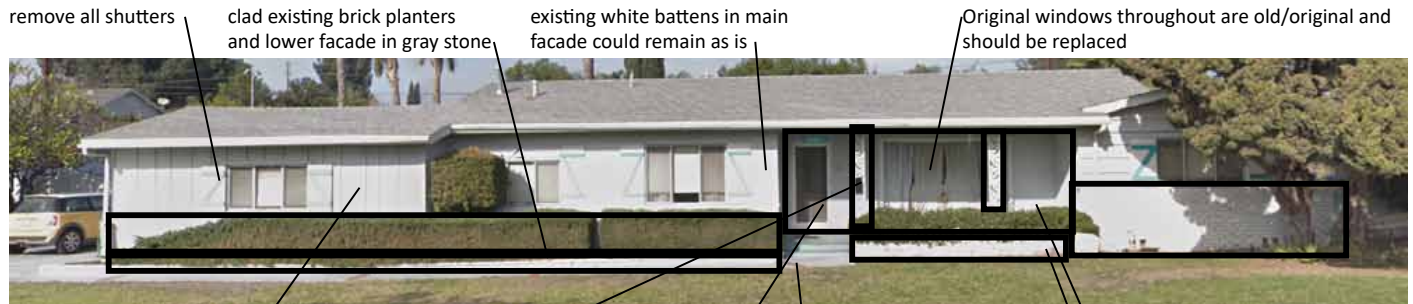
These were just some of the many drawings and calculations of the feasibility study done for an 8 story multifamily Quality Housing project with under ground parking, commerical ground floor, 7 floors of residences, and a roof top terrace for residents.



# Feasibility Study Design Inspirations



amy green design improving curb appeal



repaint garage gray, battens could stay if in good condition

furr/clad metal posts with new gray stone and lighting

consider custom entry & garage door

consider replacing brick joints with new gray gravel stones

remove battens at entry/porch and reclad with natural wood



concept image below for gray garage, white typical, and wood entry feature



concept image above for gray stone clad planters which would also clad all existing brick



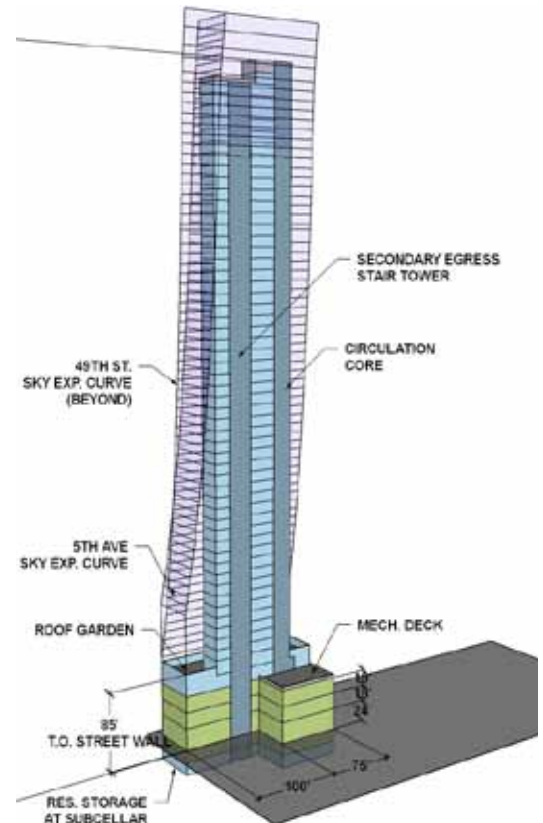
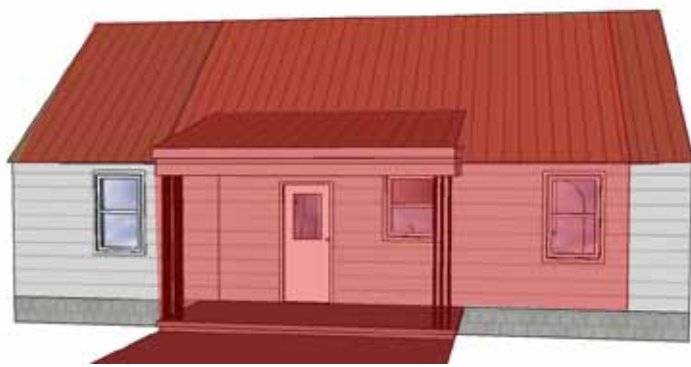
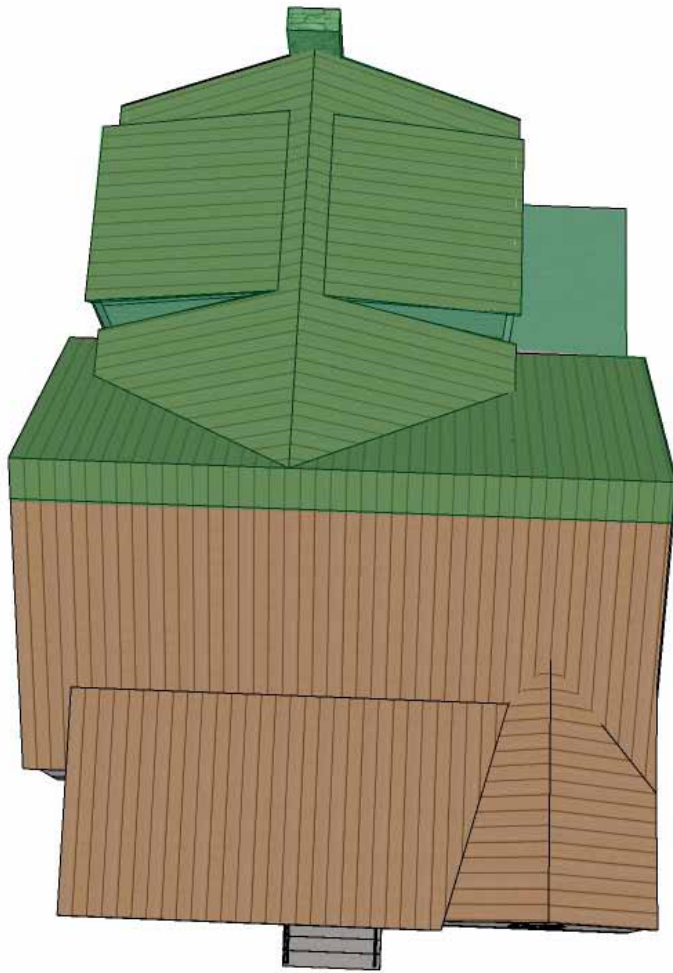
amy green design living room improvements



Sometimes clients want to focus more on the aesthetics of the feasibility study rather than the code/zoning/development aspects, in which case from both interior to exterior perspective we can show them how we can renovate existing properties into the spaces they've been dreaming of.

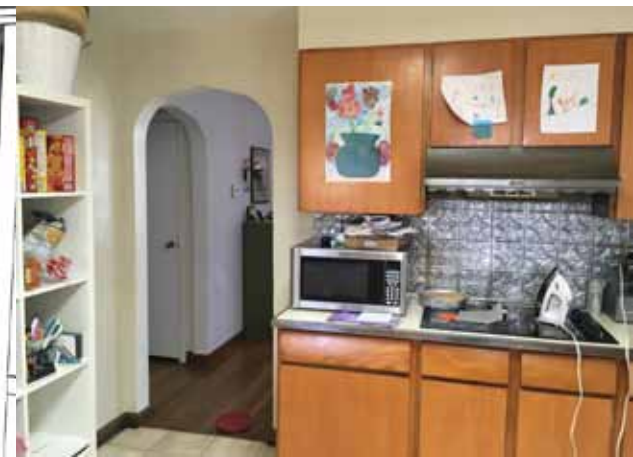
# Examples of amy green design's Services

## Feasibility Study Drawings at Tier 3



Above is a 3d model for a skyscraper a client wanted studied and designed to be as tall as possible while accommodating code required sky exposure planes that we also modeled as shown by the sloping purple panes.

3d renderings on the left were for a home expansion where red indicated areas of the home to be demoed, green proposed expansion, and the study included full 3d interior modeling and 3d walk through animation. Existing kitchen photo prior to feasibility study is shown on the bottom right next to rendering of AGD kitchen redesign.





## Step 4: Bids from Contractors & Quotes from Consultants

Gathering quotes from contractors needed to complete the construction, and quotes from consultants needed to complete services such as engineering, environmental testing, expediting, or inspections on the project allows clients to evaluate early on in the building design process exactly where budget and timeline are estimated in the current market.

### Sample Bidding & Negotiation Service Tiers

#### Tier 1

##### Basic Services

In this level of services the client will handle the bidding process themselves, simply providing AGD with the results of the bidding process and how the client wants to proceed given the results of bidding.

#### Tier 2

##### Signature Services

In this level of services the client handles the bidding process themselves, but AGD will provide the client with quotes for needed consultants and host a call with the client to review the results of bidding with the client while advising the client on how to best move forward with the project at the end of the Feasibility Study.

Recommendations from AGD at the end of the Study typically include an updated estimated project schedule, phasing plan, and total project budget to demonstrate to the client how those should move forward as a result of the Feasibility Study.

#### Tier 3

##### Premium Services

In this level of services AGD handles the bidding process for the client including hosting bid walkthroughs for the Owner to meet each bidder on-site along with AGD answering all questions from bidders. AGD will also help the client select contractors to bid, negotiate with contractors, and help advise the client on how to select the best contractor for the project based on bid results.

Many clients elect for this level of service given the fact that if our 20 years of experience in the industry can save you less than just 1% of your construction costs, then our expertise and negotiations in this process more than covers our fee to manage the bidding process for them.

## Step 5: Evaluate

At the end of the Feasibility Study, AGD and the client will have a discussion about the next best steps for the client and their potential project based on the findings of the Feasibility Study. Most clients elect to move straight into a full scope proposal from AGD to complete the project.

**The goal at the end of the Feasibility Study is typically for one of the following to occur:**

- request AGD provide a proposal for the remaining services needed to take the project into design development, construction documents, permitting, construction administration, and completion
- request an addendum for AGD to adjust the Feasibility Study due to changes to project goals, schedule, and/or budget --- prior to the client electing to move the project forward
- place the project on hold while client secures additional financing or other resources needed to allow the client to complete the project such as purchasing the land, leasing the space, combining lots, or other outcomes



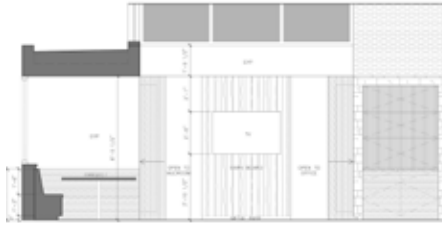
amy green design's services build upon one another, so each service, such as a Feasibility Study, is a stepping stone helping bring clients move closer towards successful completion. Clients can take everything learned during a Feasibility Study and apply it to moving their project forward.

# Architectural Service Tiers



## Tier 1 Basic Services

These services provide the bare minimum services required from your Architect. This level of service is best suited to those looking to take more of the project responsibilities on their own or who are more focused on lower fees for the project than achieving the best advise or most support from their Architect during the project.



## Tier 2 Signature Services

These services best support the needs of the majority of our clients. This level of services ensures clients receive our expertise in areas where they will benefit from our expertise and knowledge in the industry which allows us to manage most services for the client related to their project rather than burdening clients with managing those services on their own.



## Tier 3 Premium Services

These services are best suited for clients who want their Architect to handle all aspects of the project for them. This level of service allows AGD to best oversee a project's success under the full capabilities of our expert direction and provides premium services such as 3d renderings and other premium services to help clients achieve the most of their services with AGD.

## Additional Services and Understanding Your Level of Service

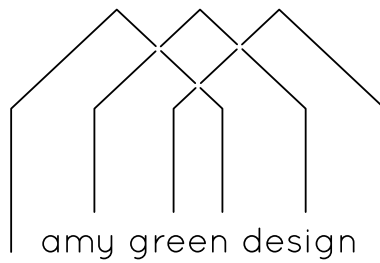
At any point in your project you can elect to add services or revise the level of services you are contracted with amy green design at. Simply send us an email indicating what services you're interested in revisiting, and we can then provide you with an addendum for your review indicating how the revision will impact your project fees, schedule, budget, project team, and services. After reviewing the addendum you can then decide whether or not to approve the addendum to change your services from the original contract or to continue under the original contract.

## Common Reasons Clients Add or Need Additional Services

- wanting additional meetings, presentations, advisement or site visits with amy green design
- adding time to their project beyond what was originally allocated in their proposal
- adding additional scope to their project such as deciding to renovate all units in the project when the original proposal only covered renovating one unit
- changes to their design or drawings after already giving amy green design approval of the design
- adding services they thought they'd cover on their own that were not included in the original contract, such as bidding & negotiations with contractors, that they found they now need support from amy green design on and want to add
- requesting to increase the tier level of services they are receiving such as increasing construction administration services to include more support such as certifying contractor requests for payments or additional on-site inspections
- adding 3d renderings if they were not originally requested of AGD

Let AGD know if you'd like to discuss revising the level of services you're interested in receiving from amy green design.

We're here as your personal expert Architect & Interior Designer to support you in a successful project from start to finish --- and the more premium level of services you elect, the more fully we can support you in achieving that success.



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We look forward to working with you and  
being your personal expert Architect &  
Interior Designer!

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